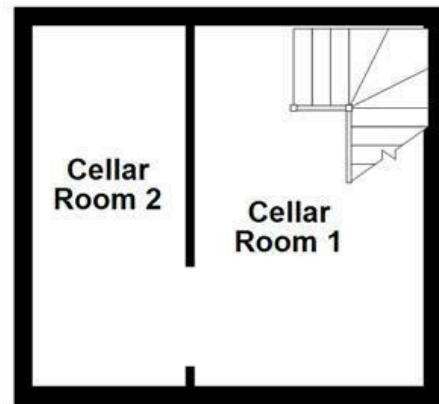
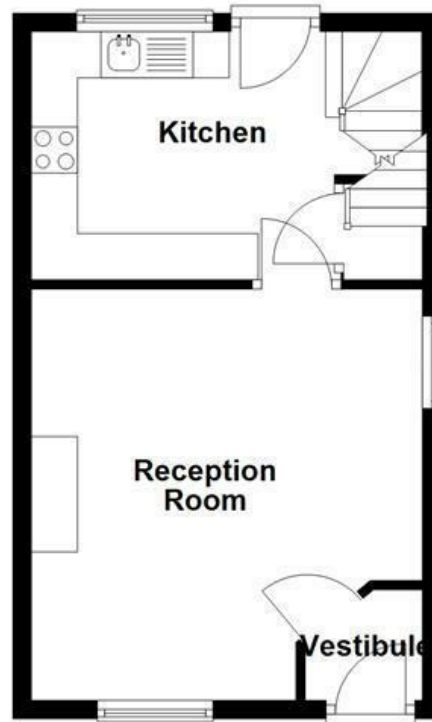


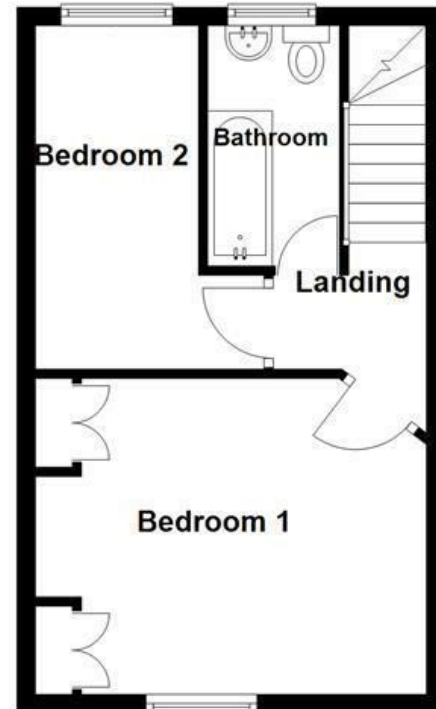
Lower Ground Floor



Ground Floor



First Floor



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
	67	80
England & Wales EU Directive 2002/91/EC		

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

## Victoria Street, Whitworth, OL12 8PL

### Offers Over £130,000

#### TWO BEDROOM TERRACE IN ROCHDALE

Nestled on Victoria Street in the charming town of Whitworth, Rochdale, this delightful house presents an excellent opportunity for couples seeking their first home. The property boasts a generous reception room, providing ample space for relaxation and entertaining guests.

The kitchen, which overlooks the rear enclosed yard, is perfect for those who enjoy outdoor living. This private space features a shed, offering additional storage for tools or outdoor equipment.

Inside, you will find a spacious double bedroom, complemented by a second generous bedroom, making it ideal for a small family or for those who may require a home office.

With its inviting atmosphere and practical layout, this property is a wonderful choice for anyone looking to establish their roots in a friendly community. Don't miss the chance to make this charming house your new home.

For the latest upcoming properties, make sure you are following our Instagram @keenans.ea and Facebook @keenansestateagents

# Victoria Street, Whitworth, OL12 8PL

## Offers Over £130,000

 **2**  **1**  **1**  **D**

- End Terraced Property
  - Fitted Kitchen
  - On Street Parking
  - EPC Rating: TBC
- Two Bedrooms
  - Three Piece Bathroom
  - Tenure: Leasehold
- Spacious Reception Room
  - Enclosed Rear Yard
  - Council Tax Band: A

### Ground Floor

**Vestibule**  
4'2 x 3'11 (1.27m x 1.19m)  
UPVC double glazed entrance door, wood effect flooring and door to reception room.

**Reception Room**  
14'7 x 13'11 (4.45m x 4.24m)  
UPVC double glazed window, UPVC double glazed frosted window, coving, wood effect flooring and door to kitchen.

**Kitchen**  
11'3 x 8'10 (3.43m x 2.69m)  
UPVC double glazed window, wall and base units, laminate worktops, tiled splash backs, stainless steel sink with draining board and mixer tap, integrated oven, four ring gas hob, extractor hood, plumbing for dishwasher, space for fridge freezer, plumbing for washing machine, space for dryer, boiler, storage, tile effect flooring, stairs to first floor, door to stairs to lower ground floor and UPVC door to rear.

### Lower Ground Floor

#### Cellar Room Two

**Cellar Room One**  
Access to cellar room two.

### First Floor

**Landing**  
5' x 2'7 (1.52m x 0.79m)  
UPVC double glazed window, loft access and doors to two bedrooms and bathroom.

**Bedroom One**  
12'9 x 11'3 (3.89m x 3.43m)  
UPVC double glazed window, central heating radiator and fitted storage.

**Bedroom Two**  
12'4 x 6'1 (3.76m x 1.85m)  
UPVC double glazed window and central heating radiator.

**Bathroom**  
9'3 x 4'7 (2.82m x 1.40m)  
UPVC double glazed frosted window, central heating radiator, dual flush WC, pedestal wash basin with traditional taps, panel bath with traditional tap and electric feed shower over, extractor fan, storage, part tiled elevations and wood effect flooring.

### External

**Rear**  
Enclosed yard, paving, storage shed and gated access to rear.



Tel: 01706396140

www.keenans-estateagents.co.uk